

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: May 19, 2005

ITEM NO. 10

CASE NUMBER/  
PROJECT NAME

**15-DR-2005**  
**New Horizon**

LOCATION

14200 N Northsight Boulevard, south of the southwest corner of Northsight Boulevard and Evans Road, south of Raintree Drive

REQUEST

Request approval of the site plan and elevations for a five building, professional office complex.

OWNER

New Horizon Custom  
Homes  
480-661-9255

ENGINEER

Knudsen-Smith  
Engineering  
602-347-7447

ARCHITECT/  
DESIGNER

Archicon, L.C.  
602-222-4266

APPLICANT/  
COORDINATOR

Vince Dalke  
Archicon, L.C.  
602-222-4266

BACKGROUND

## **Zoning.**

S-R PCD (Service Residential) District in a Planned Community Development. Provisions of the PCD relate mainly to setbacks from the Patterson Ranch area.

## **Context.**

The site is located in the Northsight area and is located south of the southwest corner of the intersection of Northsight Blvd. and Evans Road.

Adjacent Uses:

- North: Offices with C-O PCD zoning
- South: Northsight Park (O-S PCD), an office building (S-R PCD) and Patterson Ranch (R1-35) residential neighborhood, located to the southwest
- East: Northsight Blvd, and Professional Office/warehouse uses (I-1 PCD)
- West: An office/warehouse building is located at the intersection of 84<sup>th</sup> Street and Gelding Dr), with I-G (C) zoning

The access to Northsight Park is partially located along the southeast corner of the site.

APPLICANT'S  
PROPOSAL

## **Applicant's Request.**

The request is for approval of a five (5) building office complex in the Northsight area. The buildings are located along the north, south and west sides of the site with centrally located parking areas. Buildings contain a 112-foot setback from Northsight Boulevard, (42 feet for parking) as well as a 75-foot setback from Patterson Ranch at the southwest corner of the site. Pedestrian connections are provided to the adjoining streets and the Northsight Park site located to the south.

The single story buildings have a southwest style with a pitched, concrete tile roof to screen mechanical units behind, stucco finished walls, regularly spaced windows and raised, partially stand alone Spanish style entry features. All glass areas are recessed approximately 16 inches beneath roof overhangs. The buildings and roof have brown and tan colors with discontinuous dark brown wainscot. A minimum 10-foot wide base planting area is provided around each of the buildings and an open space amenity area is situated in the southwest corner of the site, adjacent to Northsight Park.

**Development Information:**

- Existing Use: Undeveloped site
- Proposed Use: Office buildings
- Parcel Size: 3.75-acre net lot area
- Floor Area: five (5) buildings containing 42,908 square feet
- Building Height Allowed/Proposed: 18 feet allowed and proposed.
- Parking Required/Provided: 143 spaces required 175 spaces provided
- Open Space Required/Provided: 39,198 sq. ft. required 43,199 sq. ft. provided
- FAR: 0.26

**Other information:**

- Traffic Circulation: Site access is from shared driveways from 84<sup>th</sup> Street/Gelding Dr. to the west, and from 2 locations from Northsight Boulevard. to the east, one shared with the office to the north and the other from the private drive leading to Northsight Park toward the south. Minor modifications to the existing drives are required with this proposal. Pedestrian accesses are provided through the site into Northsight Park.
- Landscaping: Palo Verde, Mondel Pine, Shoestring Acacia and Sissoo Trees along with Oleander, Bougainvillea, Deer Grass, Sage and other shrubs and groundcover. No turf is provided on the site.

**DISCUSSION**

The PCD (Planned Community District) provisions associated with the zoning case for this site placed stipulations requiring a minimum 75 foot landscape buffer and 100 foot refuse container setback from the Patterson Ranch (R1-35) residential subdivision, situated at the southwest corner of the site. The subject plan conforms to these requirements.

**KEY ISSUES**

- An open space amenity area is situated adjacent to the southwest corner of the site, adjacent to Northsight Park.
- The applicant notified adjacent property owners within 350 feet of the site. No objections have been received on this case.
- The application conforms to the requirements of the PCD for the area.

**OTHER BOARDS AND COMMISSIONS**

- Case 22-ZN-1999 rezoned the site to C-O PCD in December 1999 as part of a larger 7.6 acre I-1 to S-R and C-O rezoning case.
- Case 51-DR-2001 gave development approved of an office complex on this site in August 2001 however, no development occurred and the approval has expired.

**STAFF**

Staff recommends approval, subject to the attached stipulations.

**RECOMMENDATION**

**STAFF CONTACT(S)**

Al Ward  
Senior Planner  
Phone: 480-312-7067  
E-mail: award@scottsdaleaz.gov

**APPROVED BY**



Al Ward  
Report Author



Lusia Galav, AICP  
Development Planning Manager  
Phone: 480-312-2506  
E-Mail: lgalav@scottsdaleaz.gov

**ATTACHMENTS**

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



ARCHICON, L.C.  
Architecture & Interiors

02-17-05  
Proj. # 0402580-01

## **Design Review Narrative for New Horizon Office Building**

Located between N. Northsight Blvd. and Gelding Dr. (S. of Evans Rd), Scottsdale, AZ

### **CURRENT SITE DESCRIPTION**

The New Horizon Office Building 'Site' is located at 14200 N. Northsight Boulevard in Scottsdale, AZ. The site encompasses 4.06 Acres of land that is relatively flat with the current zoning of S-R. The property is bordered on the North by a two-story commercial office building, and to the south, a small office building to the east side, with the remainder of the south being lush greenscape of a park. To the west, is an industrial building, and to the east, additional two story office buildings.

### **PROPOSED PROJECT DEVELOPMENT**

\*The development will be located in an area that is currently and primarily professional offices. The areas that are built-out consist of new construction.

\*The current zoning of New Horizon Office Building project will include a mixture of offices within the context of a commercial area, and safe pedestrian connections to open space and lush landscape. In order to provide the greatest potential for success, the project will facilitate development for a mix of professional offices. The office buildings are all designed with many of the same architectural features that are required within the zoning stipulations of the 'Site.'

\*The Architectural character includes a maximum building height of 18'-0". The proposed Architectural theme consists of two-tone stucco facades, with columns that are finished with an 'old world' style color. Concrete roof tile incorporated on the pitched roofs, and the crowned parapets screen rooftop mechanical units. The buildings are enclosed with bronze aluminum finish windows and doors that have deep overhangs above to provide shade from the harsh summer sun and heat. In addition, other special materials such as old world finish used at column bases, and sill caps that create detail that makes a visual difference in this type of design. The trim variations at the building entries, along with other shapes create this quaint interesting office park.

4041 N. Central Avenue  
Suite C-100  
Phoenix, Arizona 85012  
(602) 222-4266  
Fax (602) 279-4086

15-DR-2005  
2/18/2005

ATTACHMENT #1









Q.S.  
33-48

G.I.S. ORTHOPHOTO 2003

3RD PL

N 84TH ST

E EVANS RD

E GELDING DR

N NORTHSIGHT BL

SITE



New Horizon

15-DR-2005

ATTACHMENT #2A





SPONSORING AGENCY	CITY OF SEATTLE	
	PLANNING AND DEVELOPMENT SERVICES	
	1000 1ST AVENUE, 2ND FLOOR, ROOM	
	SEATTLE, WASHINGTON 98101	
PROJECT ADDRESS	NEW HALLS BUILDING, 1000 1ST AVENUE, SEATTLE, WASHINGTON 98101	
FAIRLY NO.	10-51-0000	
LEAD	D-R	
DATE OF AVAL	FEBRU OF 1976 (RECENT)	
NET AREA ACRES	0.0000 OF 1.00 ACRES	
BUILDING AREA	BUILDING - A BUILDING - B BUILDING - C BUILDING - D TOTAL AREA	1,000 SF 2,000 SF 3,000 SF 4,000 SF 10,000 SF

[illegible]

PROJECT DESCRIPTION	CONSTRUCTION OF PVE (19) RD BUILDING AND RELATED RTE	
OCCUPANCY TYPE	B	
CONTRACT TYPE	F-B	
BUILDING HEIGHT	ALLOWABLE HEIGHT	40' 0" (3 STORIES)
	ACTUAL HEIGHT	30' 0" (3 STORIES)
BUILDING AREA	ALLOWABLE AREA	6000 SF
	ALLOWABLE AREA INCREASE IN AREA	21000 SF
	BUILDING - A	1000 SF
	BUILDING - B	2000 SF
	BUILDING - C	1000 SF
	BUILDING - D	1000 SF
	BUILDING - E	2000 SF
OCCUPANCY LOAD	PERMITTED AREA	1 PER 100 SF OF GROUND
	BUILDING - A	1000 SF / 100 = 10
	BUILDING - B	2000 SF / 100 = 20
	BUILDING - C	1000 SF / 100 = 10
	BUILDING - D	1000 SF / 100 = 10
	BUILDING - E	2000 SF / 100 = 20
	TOTAL OCCUPANTS	70
SAFETY WIDTH REQUIRED	REQUIRED SAFETY WIDTH PER OCCUPANT	0.00
	BUILDING - A	0.00 X 10 = 0
	BUILDING - B	0.00 X 20 = 0
	BUILDING - C	0.00 X 10 = 0
	BUILDING - D	0.00 X 10 = 0
	BUILDING - E	0.00 X 20 = 0
ENTRANCE WIDTH PROVIDED		10"
	BUILDING - A	10"
	BUILDING - B	10"
	BUILDING - C	10"
	BUILDING - D	10"
	BUILDING - E	10"
EXIT NUMBER REQUIRED	OCCUPANT LOAD / 100	1
	BUILDING - A	3 OCCUPANTS = 1
	BUILDING - B	21 OCCUPANTS = 2
	BUILDING - C	11 OCCUPANTS = 1
	BUILDING - D	11 OCCUPANTS = 1
	BUILDING - E	21 OCCUPANTS = 2
EXIT NUMBER PROVIDED		1
	BUILDING - A	1
	BUILDING - B	1
	BUILDING - C	1
	BUILDING - D	1
	BUILDING - E	1

[illegible][illegible]

## 24 KEYNOTES



**ARCHICON, L.C.**  
Architecture & Interiors

Architectural Consulting GROUP  
SUITE 2-100  
P.O. BOX 100000  
DALLAS, TEXAS 75210-0000  
214.342.2100  
www.archicon.com

**NEW HORIZON OFFICE BUILDING**  
14200 NORTH NORTHSIGHT BOULEVARD  
SCOTTSDALE, ARIZONA 85260

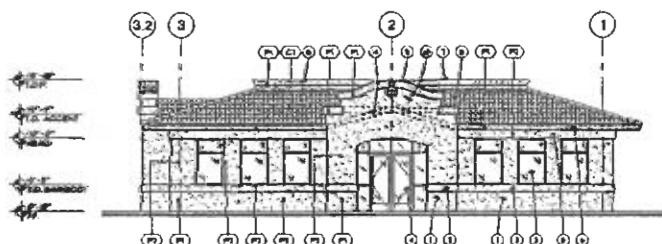
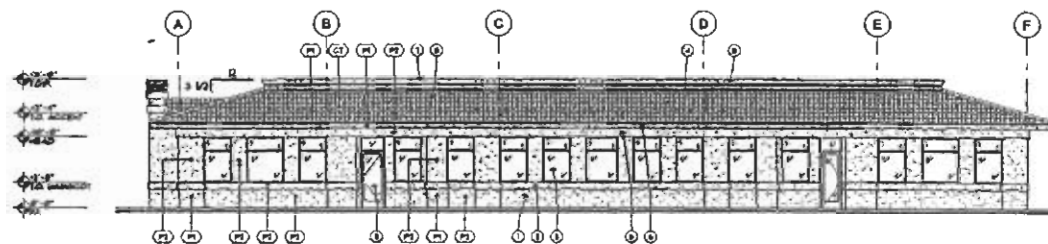
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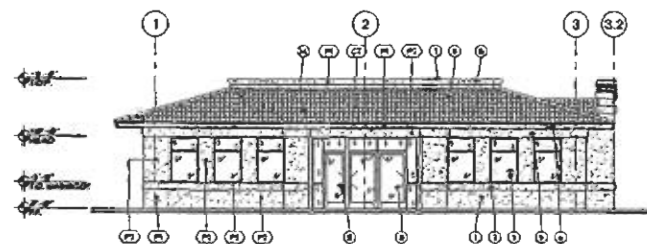




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SCALE: 100 = F-00


$$K_{\text{eff}} = 10^3 + 10^4$$

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|-----|--|--|
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| (B) | BRASSER PLANT<br>PULP MILL<br>PACIFIC<br>COLOR | BRASSER PLANT<br>PULP MILL<br>PACIFIC<br>COLOR |
| (C) | BRASSER PLANT<br>PULP MILL<br>PACIFIC<br>COLOR | BRASSER PLANT<br>PULP MILL<br>PACIFIC<br>COLOR |

### ⑥ LEGEND

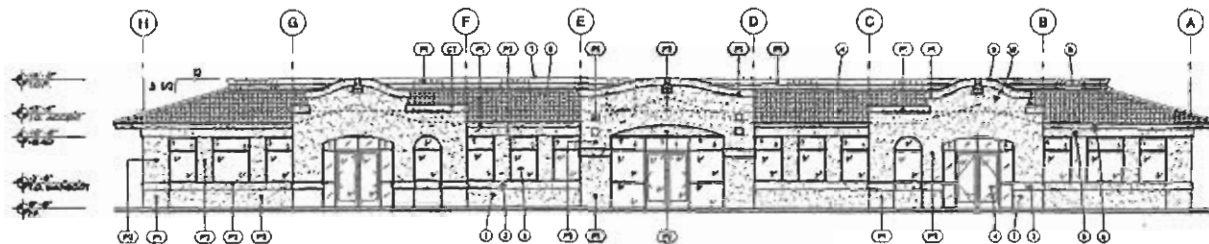
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## 12 GENERAL NOTES

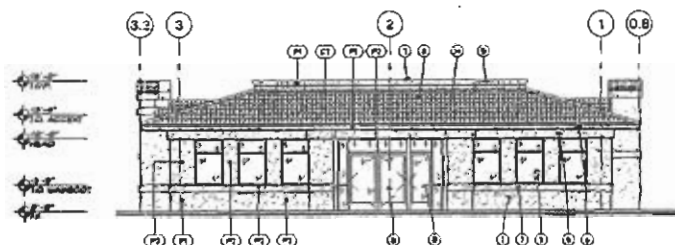
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## 24 KEYNOTES

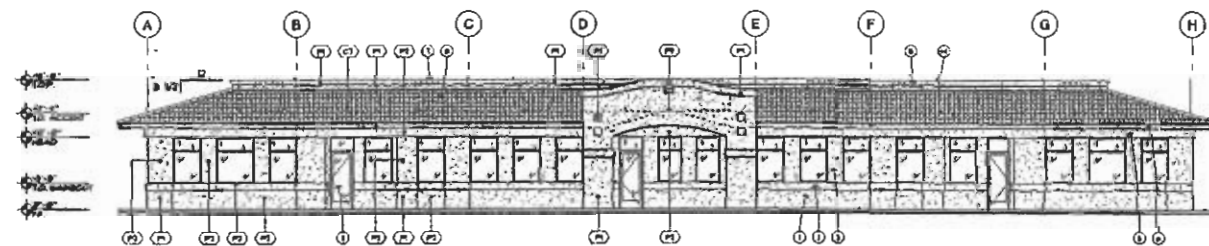
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REV: 05/11/2005



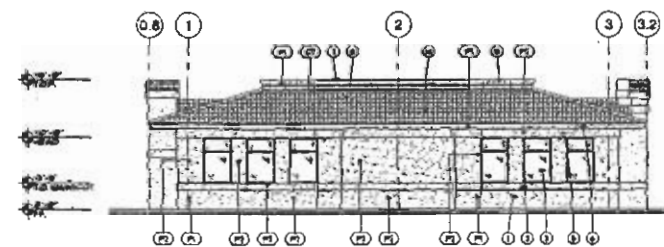
(1) BUILDING B - SOUTH EXTERIOR ELEVATION



(7) BUILDING B - EAST EXTERIOR ELEVATION



(13) BUILDING B - NORTH EXTERIOR ELEVATION



(19) BUILDING B - WEST EXTERIOR ELEVATION

- (N) EXTERIOR PAINT  
MANUFACTURER: **MADE IN U.S.A.**  
FINISH: **WHITE**  
COLOR: **WHITE**
- (M) EXTERIOR PAINT  
MANUFACTURER: **MADE IN U.S.A.**  
FINISH: **WHITE**  
COLOR: **WHITE**
- (C) EXTERIOR PAINT  
MANUFACTURER: **MADE IN U.S.A.**  
FINISH: **WHITE**  
COLOR: **WHITE**

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15-DR-2005  
REV: 05/11/2005

(24) KEYNOTES



NEW HORIZON OFFICE BUILDING  
14200 NORTH NORTHSIGHT BOULEVARD  
SCOTTSDALE, ARIZONA 85260

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
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9	REVISION	
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NO.	DESCRIPTION	DATE
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## 6 LEGEND



## 12 GENERAL NOTES



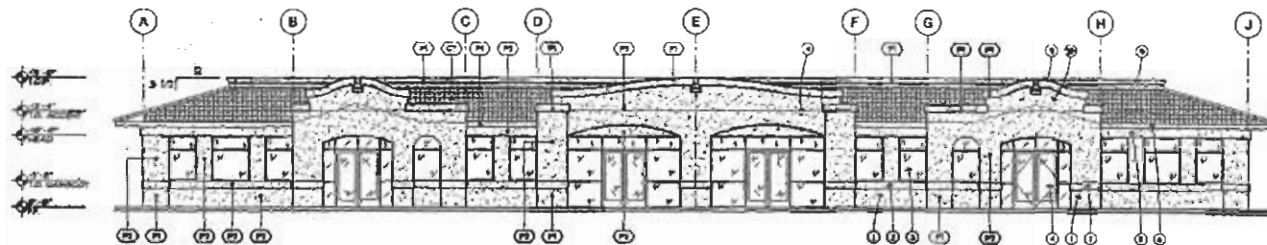
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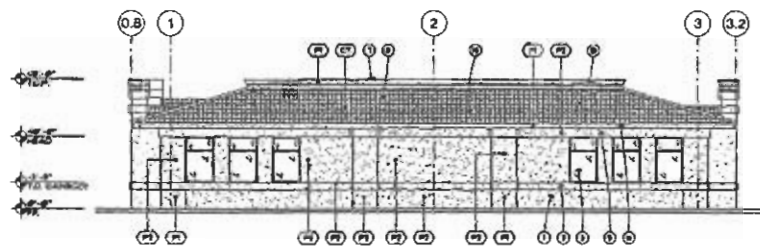
24 KEYNOTES

- 24 KEYNOTES

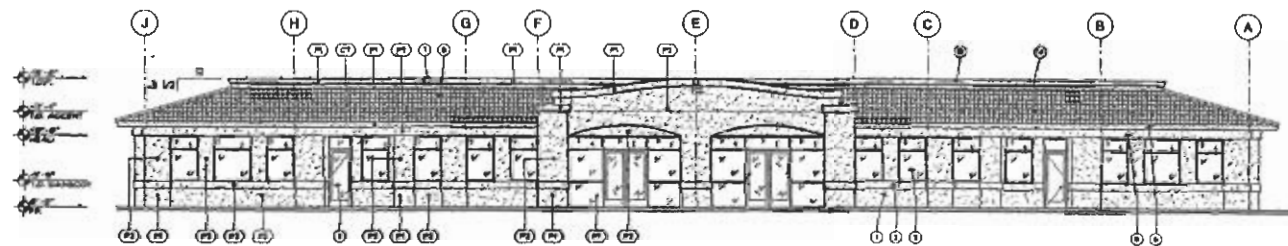
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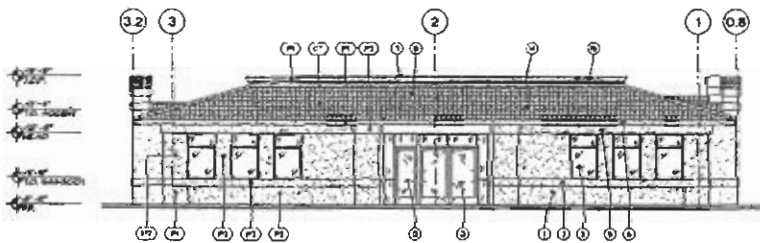
(1) BUILDING D - NORTH EXTERIOR ELEVATION



(7) BUILDING D - WEST EXTERIOR ELEVATION



(13) BUILDING D - SOUTH EXTERIOR ELEVATION



(19) BUILDING D - EAST EXTERIOR ELEVATION

- (A) EXTERIOR PAINT  
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- (B) EXTERIOR PAINT  
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- (C) EXTERIOR PAINT  
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- (D) EXTERIOR PAINT  
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- (I) EXTERIOR PAINT  
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- (J) EXTERIOR PAINT  
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## (6) LEGEND

1. ALL EXTERIOR OPENINGS THIS PRECEDENT OVER ROOF.
2. GENERAL CONTRACTOR TO VERIFY ALL OPENINGS WITH TO THE CORRESPONDENCE OF CONSTRUCTION AND WALL ABOVE THE ADJACENT IN PART OF ANY DISCREPANCY FOUND ON THE DISCREPANCY FLOOR PLAN.
3. GENERAL CONTRACTOR TO ESTABLISH AND VERIFY ALL OPENINGS AND INSERT FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE ENGINEERING PLANS.
4. ALL ROOFING MATERIALS AND EQUIPMENT SPECIFIED SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTRUCTIONS.
5. ALL ROOF TOP FINISHED SURFACES SHALL BE FULLY SMOOTHED BY PARAPET WALLS SHALL TO BE DONE WITHIN THE ROOF TOP ON THE ROOF.
6. ALL BUILDING ADDRESS AND IDENTIFICATION SHALL BE DONE WITHIN THE ROOF TOP ON THE ROOF.
7. ALL BUILDING AND SITE SIGNAGE ARE SUBJECT TO SEPARATE SUBMITTAL AND PERMITTING.

## (12) GENERAL NOTES

1. EXTERIOR INSULATION FROM SYSTEM (EIPS) OVER 1/2\"/>

15-DR-2005  
REV: 05/11/2005

## (24) KEYNOTES

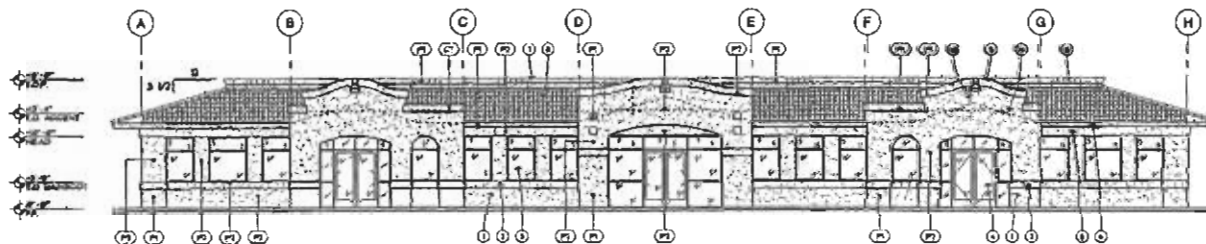


NEW HORIZON OFFICE BUILDING  
14200 NORTH NORTHSIGHT BOULEVARD  
SCOTTSDALE, ARIZONA 85280

DATE	05/11/2005
PROJECT NO.	15-DR-2005
CLIENT	NEW HORIZON OFFICE BUILDING
ARCHITECT	ARCHICON, L.C.
DATE	05/11/2005
PROJECT NO.	15-DR-2005
CLIENT	NEW HORIZON OFFICE BUILDING
ARCHITECT	ARCHICON, L.C.



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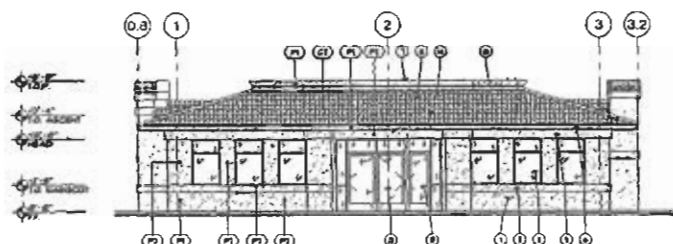
1 BUILDING E - NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

- (1) EXTERIOR PAINT  
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- (2) EXTERIOR PAINT  
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- (3) EXTERIOR PAINT  
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- (10) EXTERIOR PAINT  
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COLOR: "SIA"

6 LEGEND

1. ALL NORTH ELEVATIONS THIS PROJECT OVER SCALE
2. GENERAL CONTRACTOR TO VERIFY ALL ELEVATIONS FROM THE SURVEYING TO CORRELATION AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND ON THE SURVEYING PLANS.
3. GENERAL CONTRACTOR TO ESTABLISH AND VERIFY ALL CORNERS AND MARKS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROVED MEASURING PLANS.
4. ALL FINISH, MATERIALS, AND EQUIPMENT SPECIFICATIONS SHALL BE BASED UPON THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTRUCTIONS.
5. ALL ROOF TOP EQUIPMENT SHALL BE FULLY SECURED BY PERMANENT WALLS TO THE ROOF SURFACE FROM THE ROOF TOP ON THE ROOF TOP.
6. ALL BUILDING ADDRESS AND IDENTIFICATION SHALL BE FROM THE ADJACENT STREET CORNER AND BE INSTALLED PER THE ADJACENT MUNICIPALITY'S REQUIREMENTS.
7. ALL BUILDING AND SITE WORKS ARE SUBJECT TO SEVERAL SUBSTITUTIONS AND PROVISIONS.

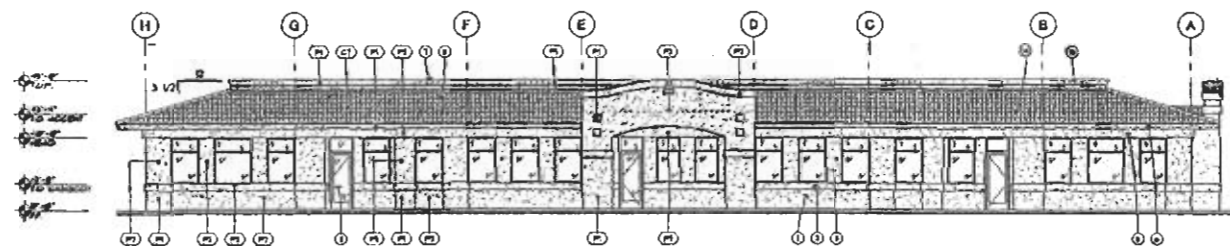


7 BUILDING E - WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

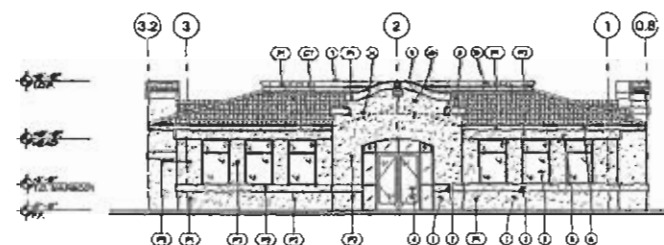
12 GENERAL NOTES

1. EXTERIOR WALL STICK FROM SYSTEM (E/W) OVER 1/2" INSULATED BOARD BOARD (E/W) OVER 1/2" X 6" WOOD STUD FRAMING.
2. DECORATIVE 1" HIGH X 1" DEEP ACCENT BASED AT TOP OF WINDOW.
3. LIGHT BRONZE TINTED INSULATED GLASS IN DARK BRONZE ANODIZED ALUMINUM STOREFRONT FRAME.
4. PAIR OF 3'-0" X 6'-0" ENTRY DOORS WITH LIGHT BRONZE TINTED THERMOPLASTIC GLASS IN DARK BRONZE ANODIZED ALUMINUM STOREFRONT FRAME WITH INSULATED GLASS TRANSPORT.
5. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
6. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
7. DECORATIVE EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
8. THERMOPLASTIC GLASS IN DARK BRONZE ANODIZED ALUMINUM STOREFRONT FRAME WITH INSULATED GLASS TRANSPORT.
9. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
10. DECORATIVE EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
11. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
12. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
13. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
14. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
15. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
16. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
17. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
18. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
19. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.
20. EXTERIOR INSULATION FROM SYSTEM (E/W) OVER 1/2" ORIENTATED STRAND BOARD (OSB) OVER 1/2" X 6" WOOD STUD FRAMING AS REQUIRED.



13 BUILDING E - SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



19 BUILDING E - EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

24 KEYNOTES

15-DR-2005  
REV: 05/11/2005



NEW HORIZON OFFICE BUILDING  
14200 NORTH NORTHSIGHT BOULEVARD  
SCOTTSDALE, ARIZONA 85260

NO.	REVISION	DATE	BY	CHKD.
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A-3.4



**NEW HORIZON  
14200 N. NORTHSIGHT  
SCOTTSDALE, ARIZONA**

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## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- |   |  |
|---|--|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE &amp; MUST BE ON ALL PLANS.</p> <p><input checked="" type="checkbox"/> 2. FIRE LANES &amp; EMERGENCY ACCESS SHALL BE PROVIDED &amp; MARKED IN COMPLIANCE WITH CITY ORDINANCE &amp; IFC AT THE FOLLOWING LOCATIONS.<br/><br/><u>AS SHOWN</u><br/>_____<br/>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT &amp; AMERICANS WITH DISABILITIES ACT &amp; INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input type="checkbox"/> 4. SUBMIT PLANS &amp; SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS &amp; EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:<br/> <input checked="" type="checkbox"/> A. KNOX BOX<br/> <input type="checkbox"/> B. PADLOCK<br/> <input type="checkbox"/> C. KNOX OVERRIDE &amp; PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER &amp; FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK &amp; KEYED TO MATCH THE FIRE ALARM CONTROL PANEL &amp; SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.<br/>(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</p> <p><input checked="" type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____<br/>_____</p> <p><input checked="" type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 &amp; 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS &amp; HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED &amp; OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF 700 AT 20 GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input checked="" type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____</p> <p><input checked="" type="checkbox"/> 15. EXIT &amp; EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE &amp; THE IFC. SEE SHEETS _____</p> <p><input checked="" type="checkbox"/> 16. SUBMIT MSDS SHEETS &amp; AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP &amp; SUBMIT WITH THE BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 17. FIRELINE, SPRINKLER &amp; STANDPIPE SYSTEM SHALL BE FLUSHED &amp; PRESSURE TESTED PER NFPA STANDARDS &amp; SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)<br/> <input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.<br/> <input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> <p><input checked="" type="checkbox"/> 19. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF 3' CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS REQUIRED.</p> |
|---|--|

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☒ G. PROVIDE CLEARANCE FOR LADDER ARIAL PLATFORM AND COVERED PARKING

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

## **Stipulations for Case: New Horizon Case 15-DR-2005**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

### **PLANNING**

#### **APPLICABLE DOCUMENTS AND PLANS:**

##### **DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevation sheets A-3.0 through A-3.4 submitted by Archicon, L.C. with a staff receipt date of 5/11/2005.
  - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan sheet A-0.1 submitted by Archicon, L.C. with a staff receipt date of 5/11/2005.
  - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan sheets L-1 and L-2 submitted by TJM & Associates with a staff receipt date of 5/11/2005.

#### **ARCHITECTURAL DESIGN:**

##### **DRB Stipulations**

2. Service entrance section(s) shall be interior.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall with an EIFS finish to match the buildings on site, except where sloping tile roofs are used. Paint colors for EIFS screen walls surfaces shall be selected from the palette of colors used on the EIFS building surfaces on site. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Dooley wall fencing shall not be allowed.
8. All walls shall match the architectural color, materials and finish of the building(s). For this site, an EIFS finish is required with paint colors to be selected from the palette of colors used on EIFS building surfaces on site.
9. No exposed corrugated metal shall be permitted on parking canopies.
10. Parking canopies shall have a minimum 4-inch fascia board on all sides, but shall not be less in height than required to completely screen the lowest point of any light fixtures.
11. Tinted, coated or metallized glazing shall not have a reflectance of outdoor visible light exceeding 17%.
12. The external appearance of spandrel glazing, if used, must match the appearance of adjacent vision glazing.

### **ATTACHMENT B**



**SITE DESIGN:****DRB Stipulations**

13. Transformer locations shall be subject to final plans review and approval.
14. Parking canopies shall not project forward of the front building line along any street frontage.

**LANDSCAPE DESIGN:****DRB Stipulations**

15. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
16. Boulders shall be buried to 1/3<sup>rd</sup> their height for a more natural appearance. No boulder shall exceed two feet in height with the sight visibility triangles illustrated on the submitted plan
17. The landscape plan shall be revised for consistency with the new driveway configuration shown on the above referenced site plan.

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

18. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting, parking lot canopy lighting, and bollards with downward aimed louvers.
19. The individual luminaire lamp shall not exceed 250 watts.
20. The maximum height from finished grade to the bottom of any exterior luminaire shall not exceed 20 feet.
21. All exterior light poles, pole fixtures, and yokes, including bollards shall be a flat black or dark bronze.
22. Incorporate into the project's design, the following:

**Parking Lot and Site Lighting:**

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 1.5 foot-candles. All exterior luminaries shall be included in this calculation.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 6.0 foot-candles. All exterior luminaries shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.8 foot-candles. All exterior luminaries shall be included in this calculation.
- d. Only bollard style fixtures with downward directed louvers are permitted in the parking area.

**Building Mounted Lighting:**

- e. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.

**Ordinance**

- A. Wall mounted fixtures may not be used on the west or south side of buildings C, D or E.
- B. Fixtures in the parking area may only be bollards with downward directed louvers.

**VEHICULAR AND BICYCLE PARKING:**

**DRB Stipulations**

23. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

**ADDITIONAL PLANNING ITEMS:**

**DRB Stipulations**

24. No exterior vending or display shall be allowed.
25. Flagpoles, if provided, shall be one piece, conical, and tapered.
26. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

**RELEVANT CASES:**

**Ordinance**

- C. At the time of review, the applicable zoning case for the subject site was: 22-ZN-1999.

## **ENGINEERING**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### **APPLICABLE DOCUMENTS AND PLANS:**

27. The location and configuration of all site improvements shall be constructed to be consistent with the site plan sheet A-0.1 submitted by Archicon, L.C. with a staff receipt date of 5/6/2005, modified per the following stipulations, specifically for the location of the trash enclosures and the sidewalk along the south property line.

### **DRAINAGE AND FLOOD CONTROL:**

#### **DRB Stipulations**

28. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
- a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
  - b. Demonstrate consistency with the approved master drainage plan and report, Northsight Commercial Development, prepared by Gilbertson and Associates, dated January 18, 2002
  - c. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

#### **Ordinance**

- D. In accordance with the Master Drainage Report for Northsight Commercial Development, prepared by Gilbertson and Associates, dated January 18, 2002, the site is not required to provide any stormwater storage. Stormwater runoff from the site shall not be allowed to sheet flow to the retention basins in Northsight Park. The developer shall construct piping and headwalls to the bottom of the retention basins. The developer shall coordinate the location of headwalls and outfall points with the City of Scottsdale Parks Department, prior to submitting the first submittal of construction documents.
- (1) Off-site runoff must enter and exit the site as it did historically.
  - (2) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- E. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- F. Underground Stormwater Storage:
- (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
  - (2) Drywells are not permitted.

### **ROADWAY, INTERSECTION, AND ACCESS DESIGN:**

#### **DRB Stipulations**

29. No right of way dedications or road improvements are required, since Northsight Boulevard has already been constructed to its full street cross section width.

30. The developer shall design and construct two driveways, one onto Northsight Boulevard and the other onto 84<sup>th</sup> Street. The driveways shall be constructed in general conformance with DSPM Standard Detail #2256 for CL-1, and the width of the driveway shall not exceed 30 feet. The new driveways shall be centered on the existing shared access easements and the approach lanes shall "Y" into each adjacent parcel via a 24-foot wide drive aisle. Please reference the 15-DR-2005 DRB site plan dated 5-06-2005, prepared by Archichon. The existing landscaped island on the parcel to the north shall be enlarged so that only one driveway is shared between the sites.
31. The developer shall constructed ADA ramps on each side of the newly constructed driveways.
32. Construct a minimum 5-foot wide sidewalk along the southeastern side of the site adjacent to the Northsight Park access road. The sidewalk shall extend from the southeast corner of the site and tying into the existing sidewalk on Northsight Boulevard, and then west and south following the access road into the park. Provide a minimum 5-foot separation between the road and the edge of sidewalk, to the satisfaction of City staff. Dedicate a public access easement over this sidewalk alignment. Tie new sidewalk from the site into the minimum 5-foot wide sidewalk. This occurs at five locations. Please reference the 15-DR-2005 DRB site plan dated 5-06-2005, prepared by Archichon for the alignment and tie in locations. The sidewalk cannot be less than 5 feet wide at the existing transformer location with its new screen wall. May need to relocate transformer if this occurs.

**Ordinance**

- G. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

**INTERNAL CIRCULATION:****DRB Stipulations**

33. The developer shall provide a minimum parking-aisle width of 24 feet.
34. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
35. Provide bike parking adjacent to each main building entrance. Show locations on the construction plans.

**Ordinance**

- H. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.
36. Sight distance easements shall be dedicated over sight distance triangles.
  - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
  - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
37. Vehicular Non-Access Easement:
  - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Northsight Boulevard and 84<sup>th</sup> Street except at the approved driveway location.
38. Indemnity Agreements:
  - a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

**Ordinance****I. Waterline and Sanitary Sewer Easements:**

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

**REFUSE:****DRB Stipulations**

39. The developer shall construct a minimum of two refuse enclosures. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2147-1 for double enclosures.
40. The refuse enclosure location shown on the 15-DR-2005 DRB site plan dated 5-06-2005, prepared by Archichon, will not provide enough backing distance for the refuse trucks. Move the refuse enclosures to the east so that 40 feet of vehicle length can be provided.
41. Enclosures must:
  - a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
  - b. Be positioned to facilitate collection without "backtracking."
  - c. Be easily accessible by a simple route.
  - d. Not require backing more than 35 feet.
  - e. Not be located on dead-end parking aisles.
  - f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

**Ordinance****J. Refuse enclosures are required as follows:**

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

**K. Underground vault-type containers are not allowed.****L. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.****M. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.****WATER AND WASTEWATER STIPULATIONS**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

**DRB Stipulations**

42. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
  - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
  - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.



**WATER:**

**DRB Stipulations**

**Ordinance**

- N. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

**WASTEWATER:**

**DRB Stipulations**

43. On-site sanitary sewer shall be privately owned and maintained.
44. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.
45. Provide a certified fire hydrant flow test for this development.

**Ordinance**

- O. Privately owned sanitary sewer shall not run parallel within the waterline easement.